

PUBLIC NOTICE

Notice is hereby given that the Tooele City Council will meet in a Business Meeting on Wednesday, October 4, 2023, immediately following the RDA meeting that begins at 7:00 p.m. The meeting will be held in the Tooele City Hall Council Chambers, located at 90 North Main Street, Tooele, Utah. The complete public notice is posted on the Utah Public Notice Website www.utah.gov, the Tooele City Website www.tooelecitecity.org, and at Tooele City Hall. To request a copy of the public notice or for additional inquiries please contact Michelle Pitt, City Recorder at (435)843-2111 or michellep@tooelecitecity.org

*We encourage you to join the City Council meeting electronically by visiting the **Tooele City YouTube Channel**, at <https://www.youtube.com/@tooelecitecity> or by going to YouTube.com and searching "Tooele City Channel". If you are attending electronically and would like to submit a comment for the public comment period or for a public hearing item, please email cmpubliccomment@tooelecitecity.org anytime up until the start of the meeting. Emails will be read at the designated points in the meeting.*

AGENDA

1. **Pledge of Allegiance**
2. **Roll Call**
3. **Mayor's Youth Recognition Awards**
4. **Domestic Violence Awareness Month Proclamation**
Presented by Debbie Winn, Mayor
5. **Public Comment Period**
6. **Request** for Deviation from Design Standards for the Towns at Mountain View
Presented by Andrew Aagard, Community Development Director
7. **Ordinance 2023-40** An Ordinance of Tooele City Amending Tooele City Code Section 11-1-12 Regarding Camping
Presented by Adrian Day, Police Chief
8. **Resolution 2023-86** A Resolution of the Tooele City Council Authorizing Payment of a Fee-in-Lieu of Water Rights Conveyance for the Microtel Moda Hotel Project
Presented by Jared Stewart, Economic Development Director
9. **Invoices & Purchase Orders**
Presented by Michelle Pitt, City Recorder
10. **Minutes**
~September 20, 2023, Work Meeting
~September 20, 2023, Business Meeting
11. **Adjourn**

Michelle Y. Pitt, Tooele City Recorder

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations should notify Michelle Y. Pitt, Tooele City Recorder, at 435-843-2111 or michellep@tooelecitecity.org, prior to the meeting.



Proclamation

DOMESTIC VIOLENCE AWARENESS MONTH

WHEREAS, it is a basic human right to live a life free from violence and abuse; and

WHEREAS, domestic violence is a serious problem that occurs in all cultures and communities and does not discriminate by age, gender, social class, race, ethnicity, religious affiliation or sexual orientation; and

WHEREAS, both women and men in Utah experience intimate partner violence; and most families with intimate partner violence have children who are also impacted by the violence; and

WHEREAS, seniors are also victims of domestic and sexual violence and are part of the most under-reported group, and

WHEREAS, awareness and intentional collaboration are required to find solutions to abuse and intimate partner violence; and

WHEREAS, it is the role of local government to provide for the health, safety, and welfare of its citizens; and

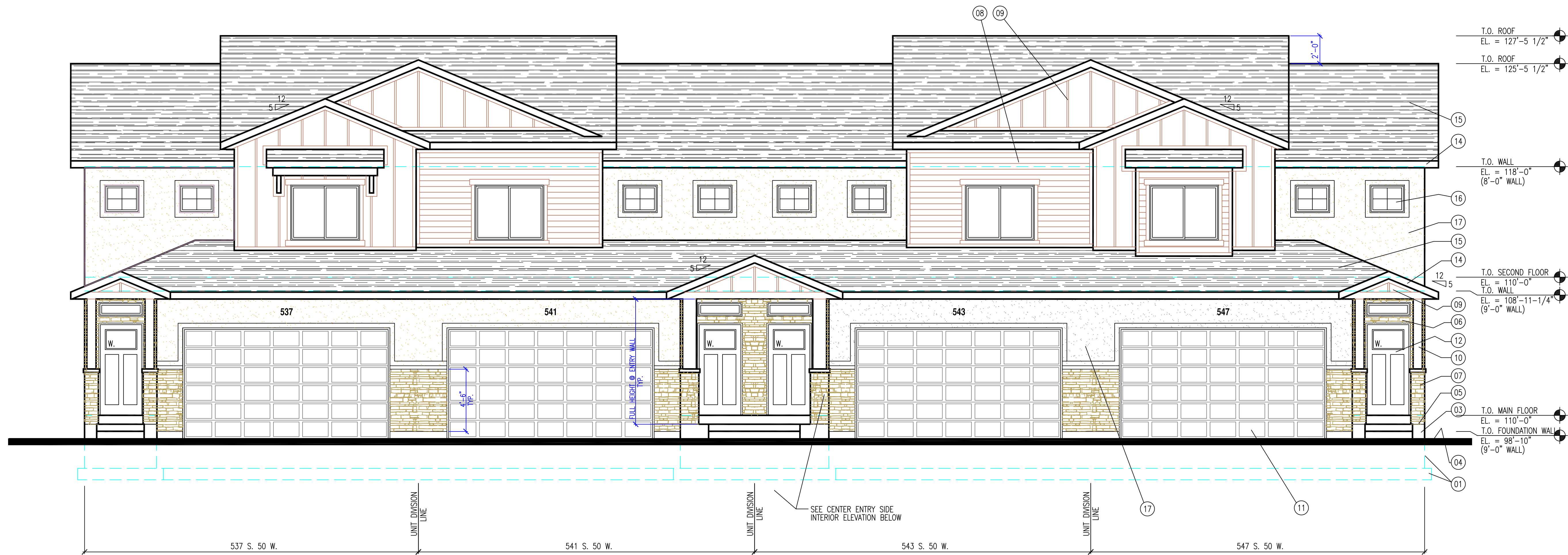
NOW, THEREFORE, I, Debra E. Winn, Mayor of Tooele City, Utah, in partnership with South Valley Services - Pathways do hereby proclaim October as:

DOMESTIC VIOLENCE AWARENESS MONTH

IN THE CITY OF TOOELE, we urge all residents to use October as Domestic Violence Awareness Month to learn how they can break the silence and end domestic violence in our community.

IN WITNESS WHEREOF, I have hereunto set my hand and caused to be affixed the Seal of the City of Tooele, Utah this 4th day of October, 2023.

Debra E. Winn
Tooele City Mayor



Front Elevation
SCALE: 1/4" = 1'-0"

Exterior Finish Notes

- 01 LINES OF CONCRETE FOOTINGS & FOUNDATION WALLS
- 02 BASEMENT WINDOWS/ WINDOW WELLS
- 03 PLASTER FINISH ALL ABOVE-GRADE CONCRETE FOUNDATION WALLS
- 04 LINE OF FINISHED GRADE - COORDINATE W/ SITE DRAWINGS
- 05 CONT. PRE-FINISHED FLASHINGS AT BASE OF WALL FINISH MATERIALS
- 06 CULTURED STONE VENEER
- 07 CULTURED STONE VENEER BASE SURROUND AT COLUMNS
- 08 PAINTED CEMENT BOARD SIDING W/ TRIMS AT ALL OPENINGS, CORNERS, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION - LAP-BOARD STYLE
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- 11 PREFINISHED TEXTURED METAL OVERHEAD GARAGE DOORS
- 12 PAINTED PANELIZED FRONT DOOR W/ UPPER WINDOW, AND WITH A TRANSOM WINDOW ABOVE THE DOOR
- 13 PAINTED METAL FULL-LITE WINDOWED SINGLE-FRENCH DOOR AT REAR PATIO ENTRANCE
- 14 PRE-FINISHED ALUMINUM SOFFIT & FASCIA
- 15 30-YEAR TEXTURED ASPHALT SHINGLES AT ROOF, TYPICAL
- 16 VINYL-FRAME WINDOWS - SEE WINDOW SCHEDULE
- 17 STUCCO FINISH EXTERIOR W/ ACCENT-COLOR 4" WIDE TRIM AT PERIMETER OF ALL OPENINGS, TYPICAL
- 18 ACCENT CONTRASTING COLOR STUCCO FINISH EXTERIOR W/ ACCENT-COLOR 4" WIDE TRIM AT PERIMETER OF ALL OPENINGS, TYPICAL

Finish Areas - Front Wall

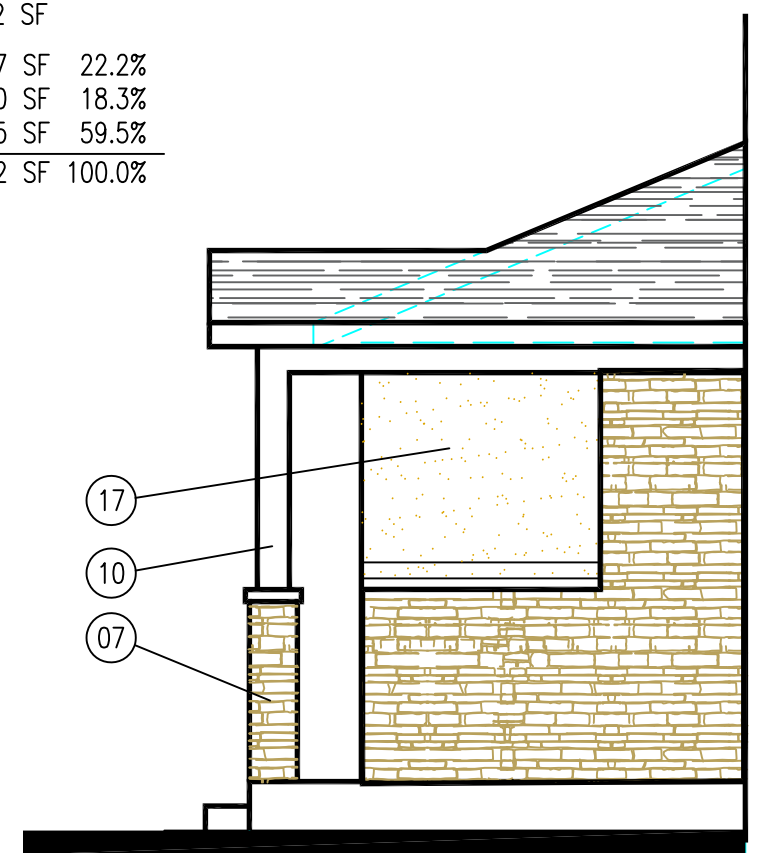
*WALL AREA EXCLUSIVE OF ROOF/FASCIAS

FRONTWALL AREA:	1,709 SF
INT. SIDEWALL AREA:	136 SF
TOTAL WALL AREA:	1,845 SF
WINDOWS:	-132 SF
MAN-DOORS:	-80 SF
O.H. DOORS:	-480 SF
NET WALL AREA:	1,153 SF
STONE AREA:	238 SF 20.6%
HARDBOARD AREA:	497 SF 43.2%
STUCCO AREA:	418 SF 36.2%
NET WALL AREA:	1,153 SF 100.0%

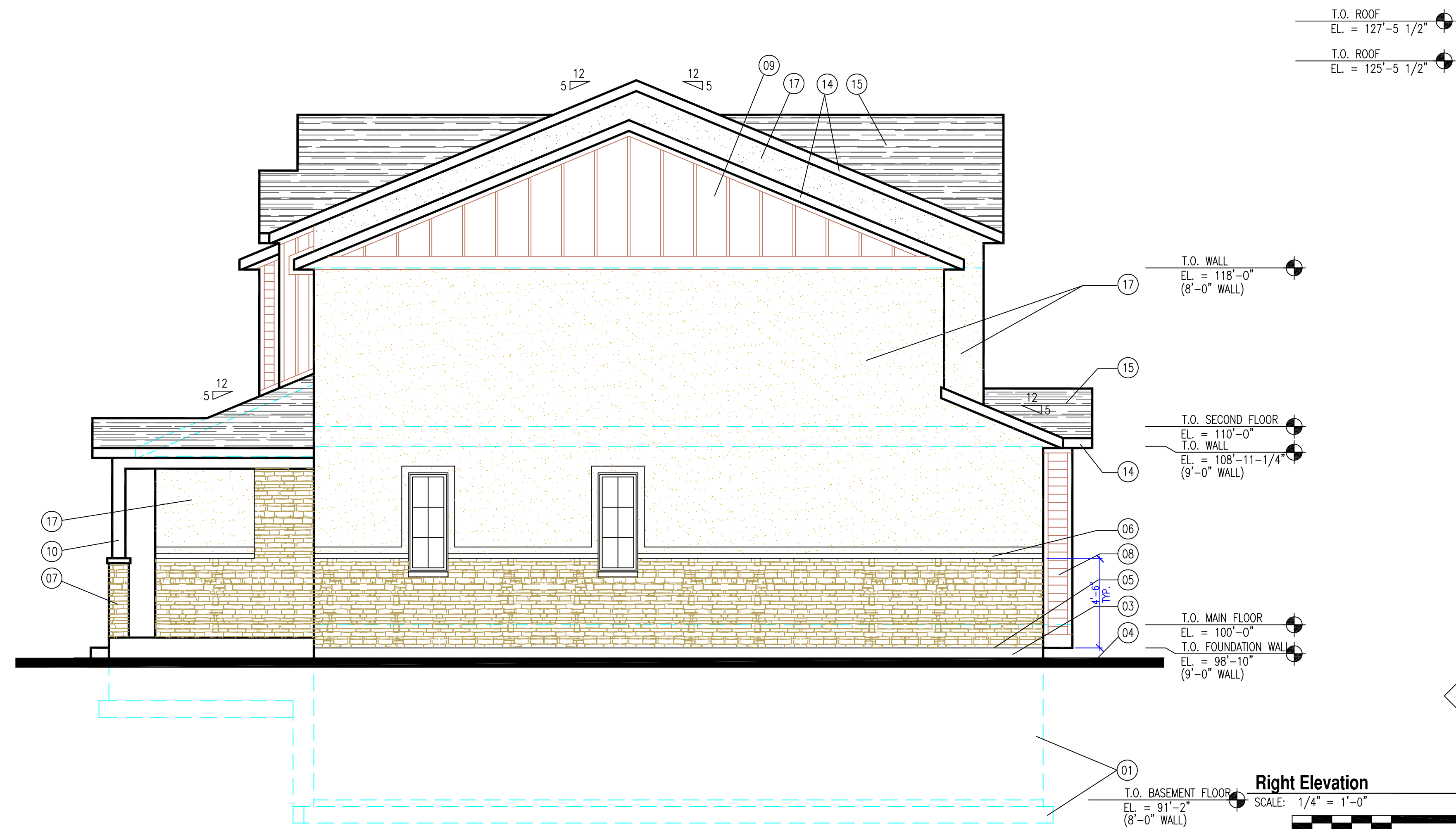
Finish Areas - Right Wall

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WALL AREA:	952 SF
WINDOWS:	-20 SF
MAN-DOORS:	-0 SF
O.H. DOORS:	-0 SF
NET WALL AREA:	932 SF
STONE AREA:	207 SF 22.2%
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STUCCO AREA:	555 SF 59.5%
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Center Entry Interior Sidewall Elevation
SCALE: 1/4" = 1'-0"
TYPICAL OF TWO



Right Elevation
SCALE: 1/4" = 1'-0"

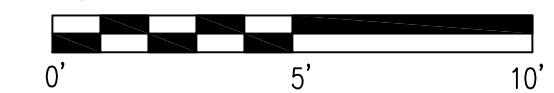
Drawn By:
Desert Lake Designs
1002 West 740 South
Tooele, UT 84074
Cell: (385)312-2544
email: desertlakedesigns@gmail.com

Exterior Elevations

Plans For:
Building 'A' - "The Towns at Mountain Vista"
537 S., 541 S., 543 S. & 547 S. 50 West Street, Tooele, UT. 84074
Lots #12, 13, 14 & 15

File Name:
327H
Date:
12 Sept. 2023
Sheet No.
A-4a

ALTERNATE





Rear Elevation
SCALE: 1/4" = 1'-0"

Exterior Finish Notes

- 01 LINES OF CONCRETE FOOTINGS & FOUNDATION WALLS
- 02 BASEMENT WINDOWS/ WINDOW WELLS
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Finish Areas - Rear Wall

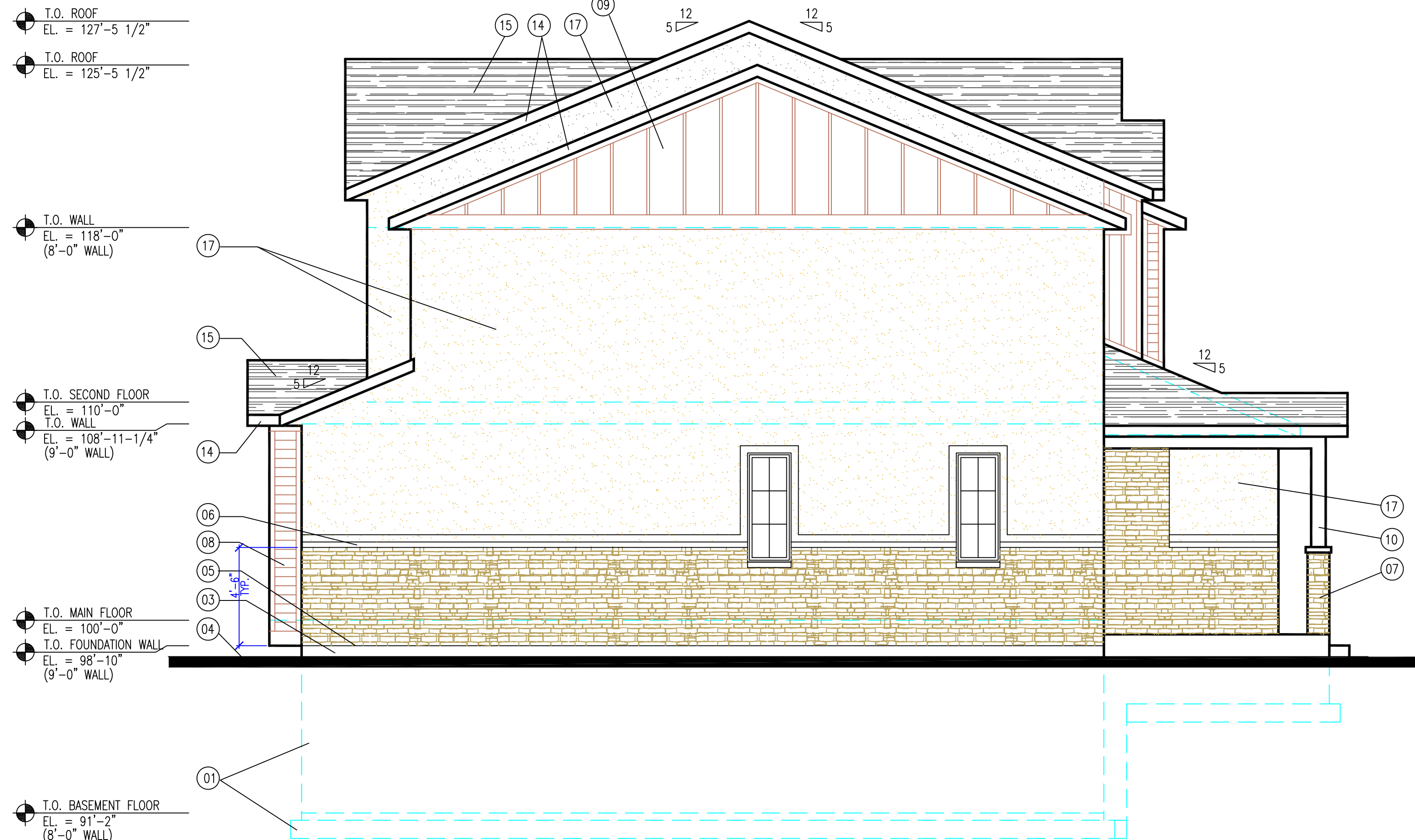
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STUCCO AREA:	604 SF 42.6%
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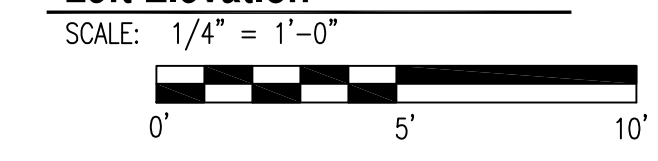
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Left Elevation

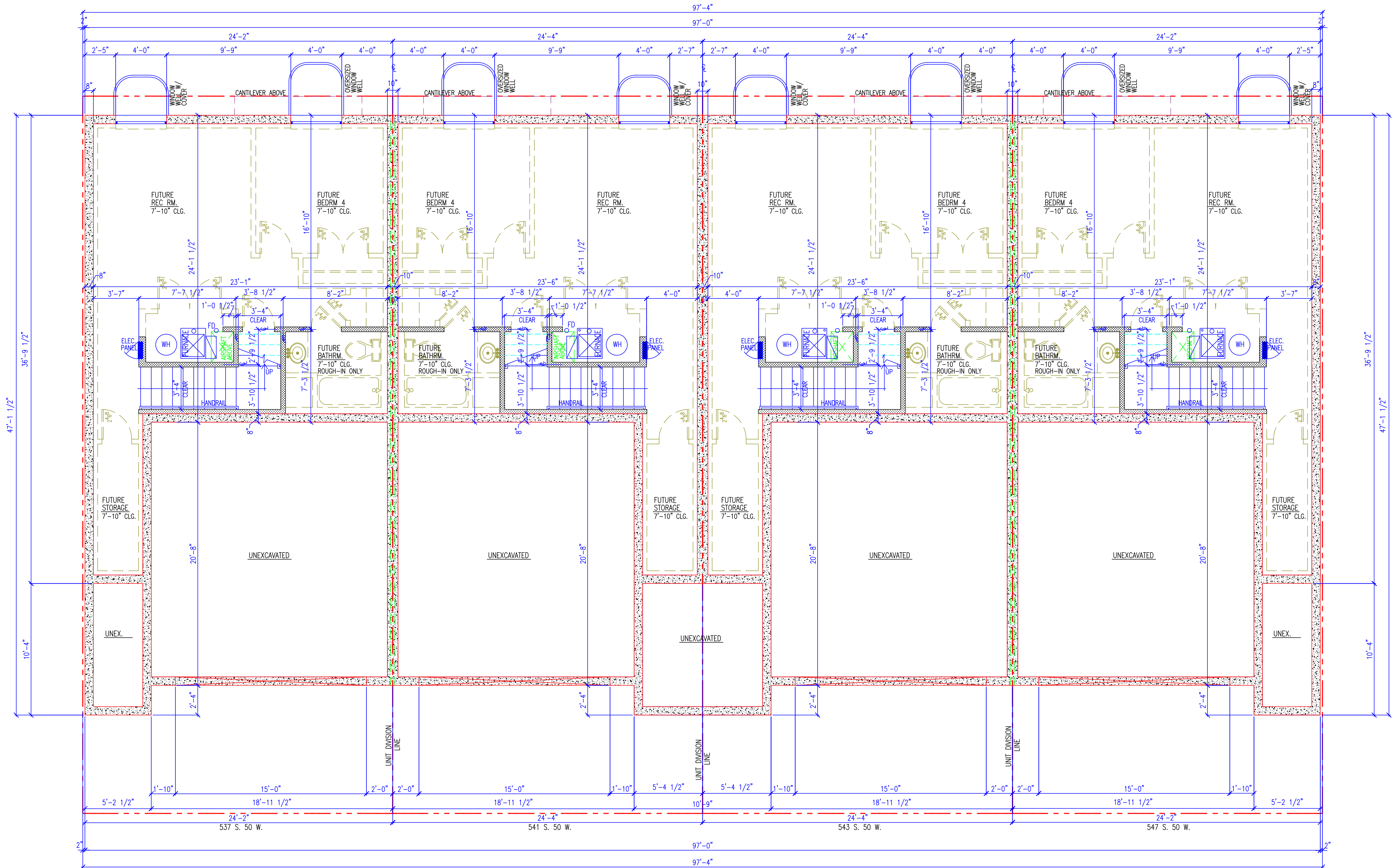


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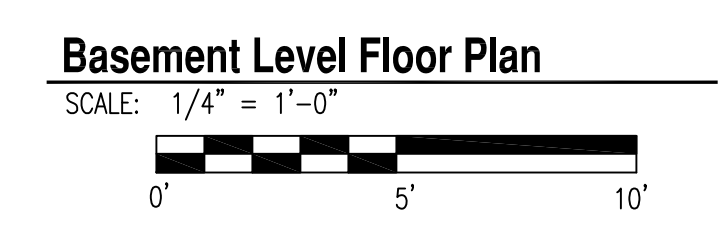
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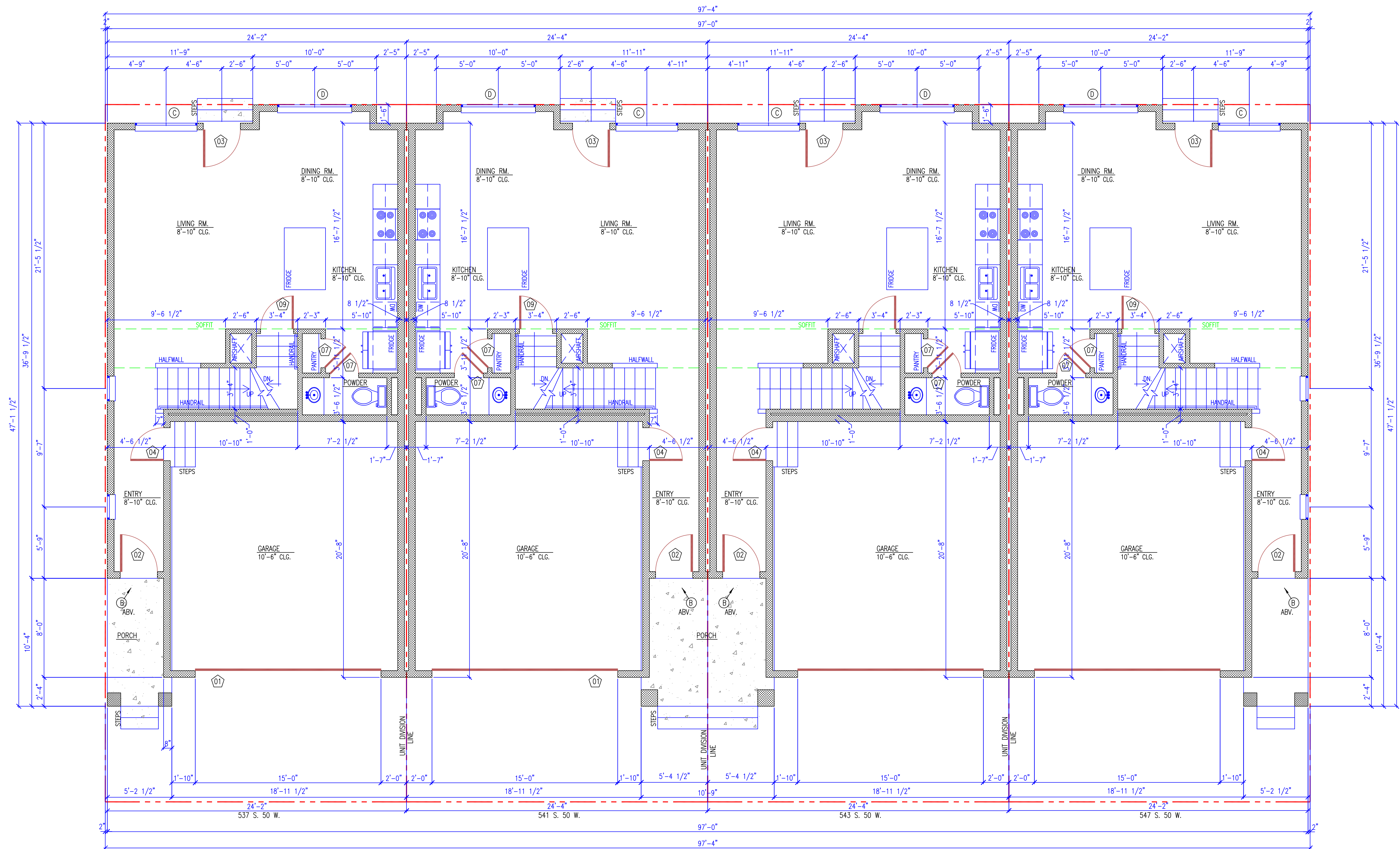
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Basement Level Floor Plan

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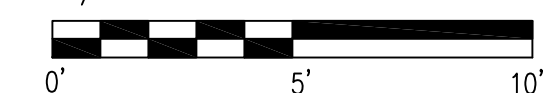


SF AREA CALCULATIONS

UNIT	MAIN	SECOND	FINISHED S.F.	BASEMENT	TOTAL S.F.	GARAGE	PORCH
537 S. 50 W.	661	817	1,478	646	2,124	398	48
541 S. 50 W.	668	816	1,484	653	2,137	398	50
543 S. 50 W.	668	816	1,484	653	2,137	398	50
547 S. 50 W.	661	817	1,478	646	2,124	398	48

Main Level Floor Plan

SCALE: 1/4" = 1'-0"



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A-2

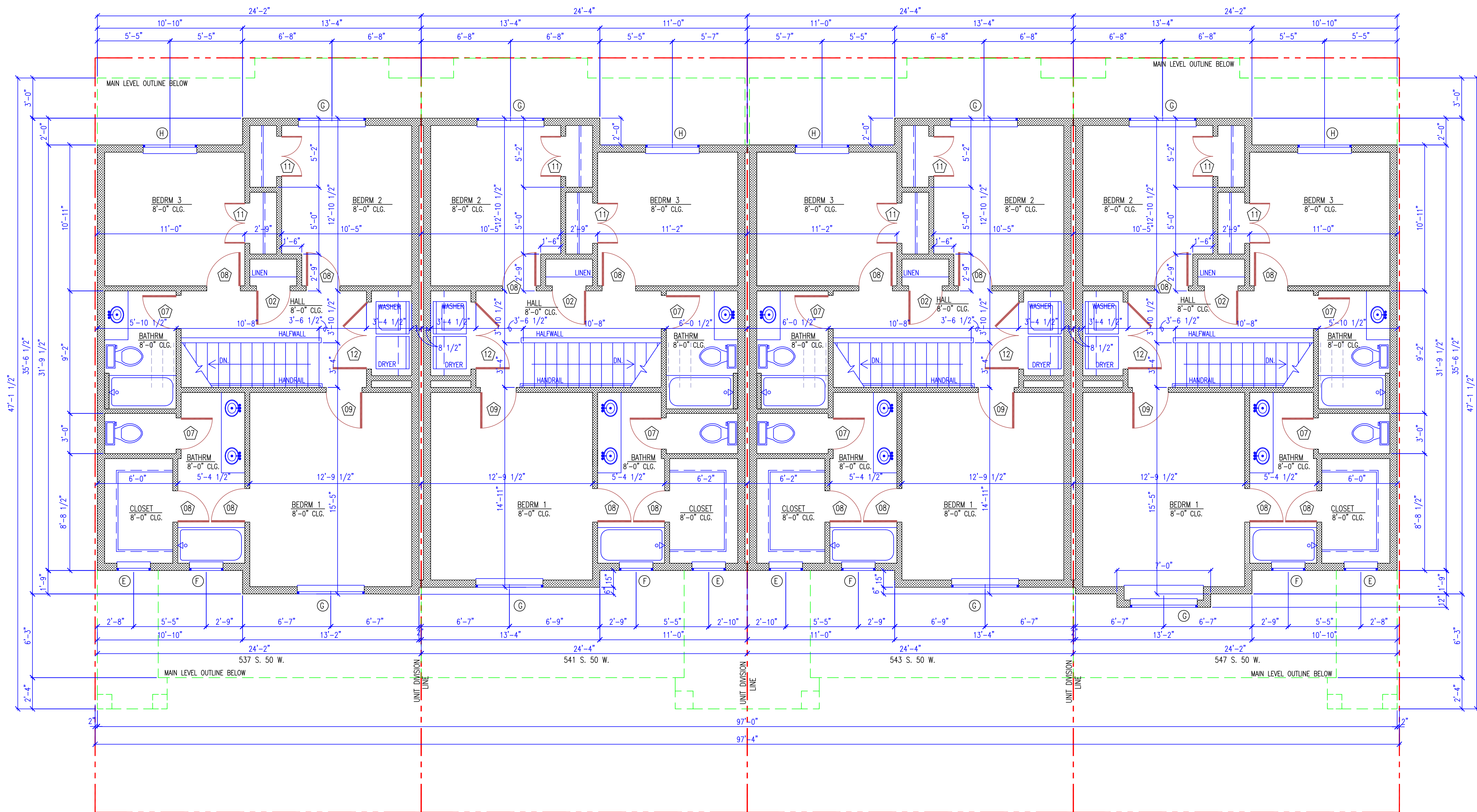
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Second Level Floor Plan

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Sheet No.

A-3

Second Level Floor Plan
SCALE: 1/4" = 1'-0"
0 5 10'



Front Elevation

SCALE: 1/4" = 1'-0"

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Finish Areas - Front Wall

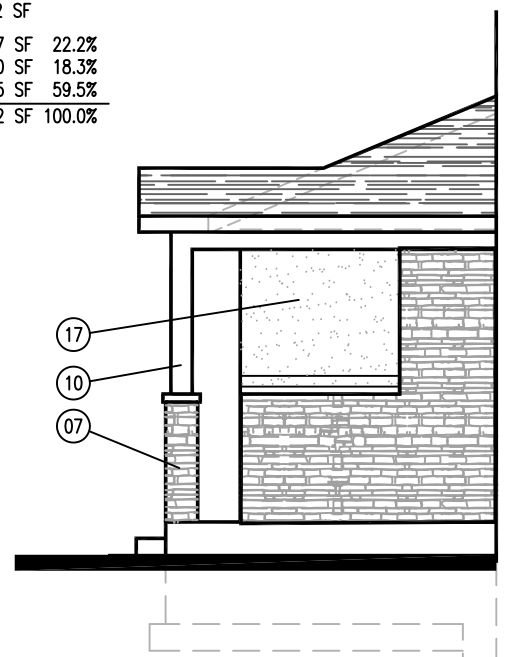
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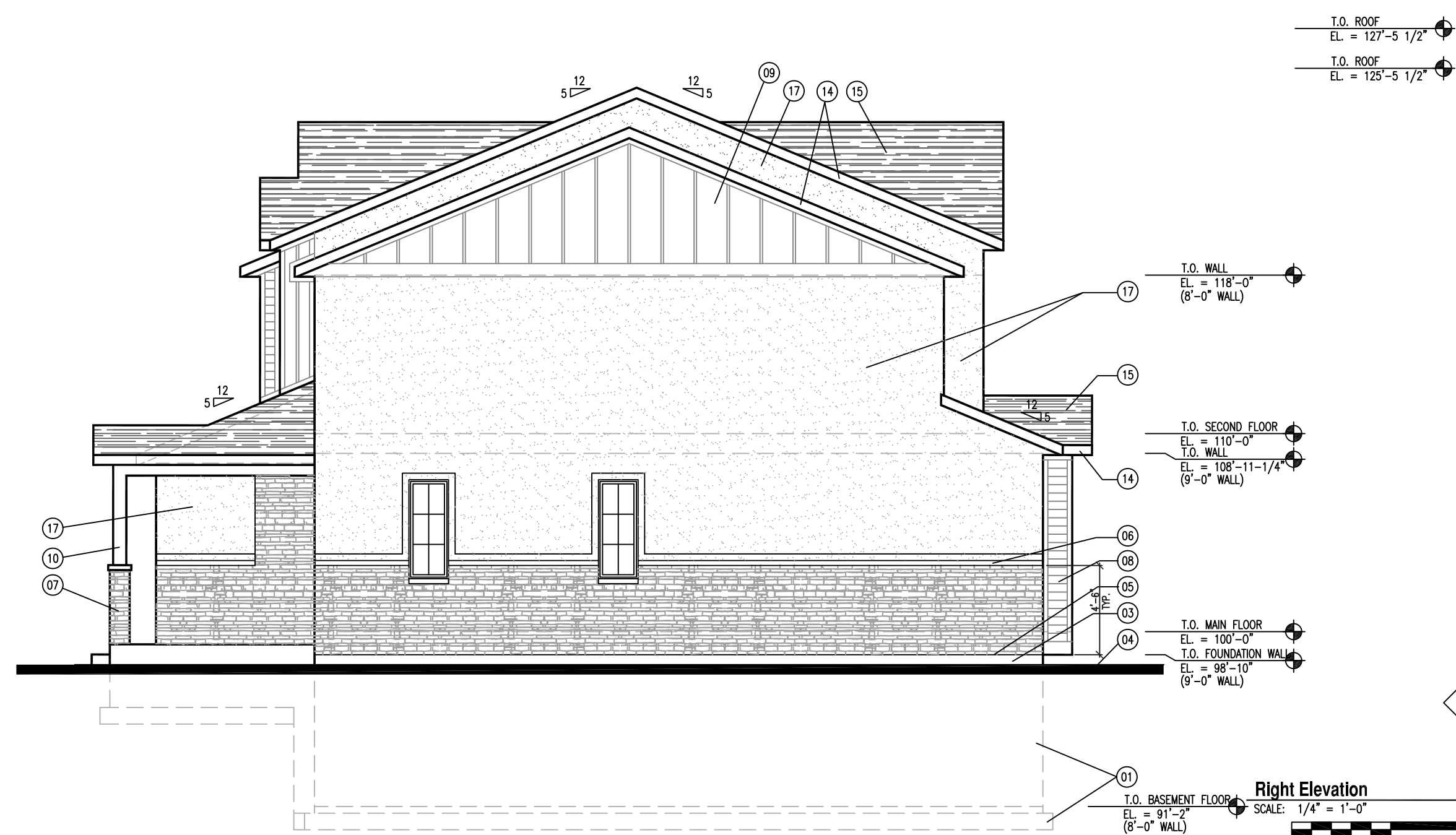
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Center Entry Interior Sidewall Elevation

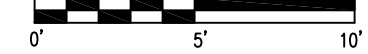
SCALE: 1/4" = 1'-0"

TYPICAL OF TWO



Right Elevation

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Drawn By:
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Exterior Elevations

Plans For:
Building 'A' - "The Towns at Mountain Vista"
537 S., 541 S., 543 S. & 547 S. 50 West Street, Tooele, UT. 84074

File Name:
327H
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12 Sept. 2023

Sheet No.
A-4a

ALTERNATE



Rear Elevation
SCALE: 1/4" = 1'-0"

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Finish Areas - Rear Wall

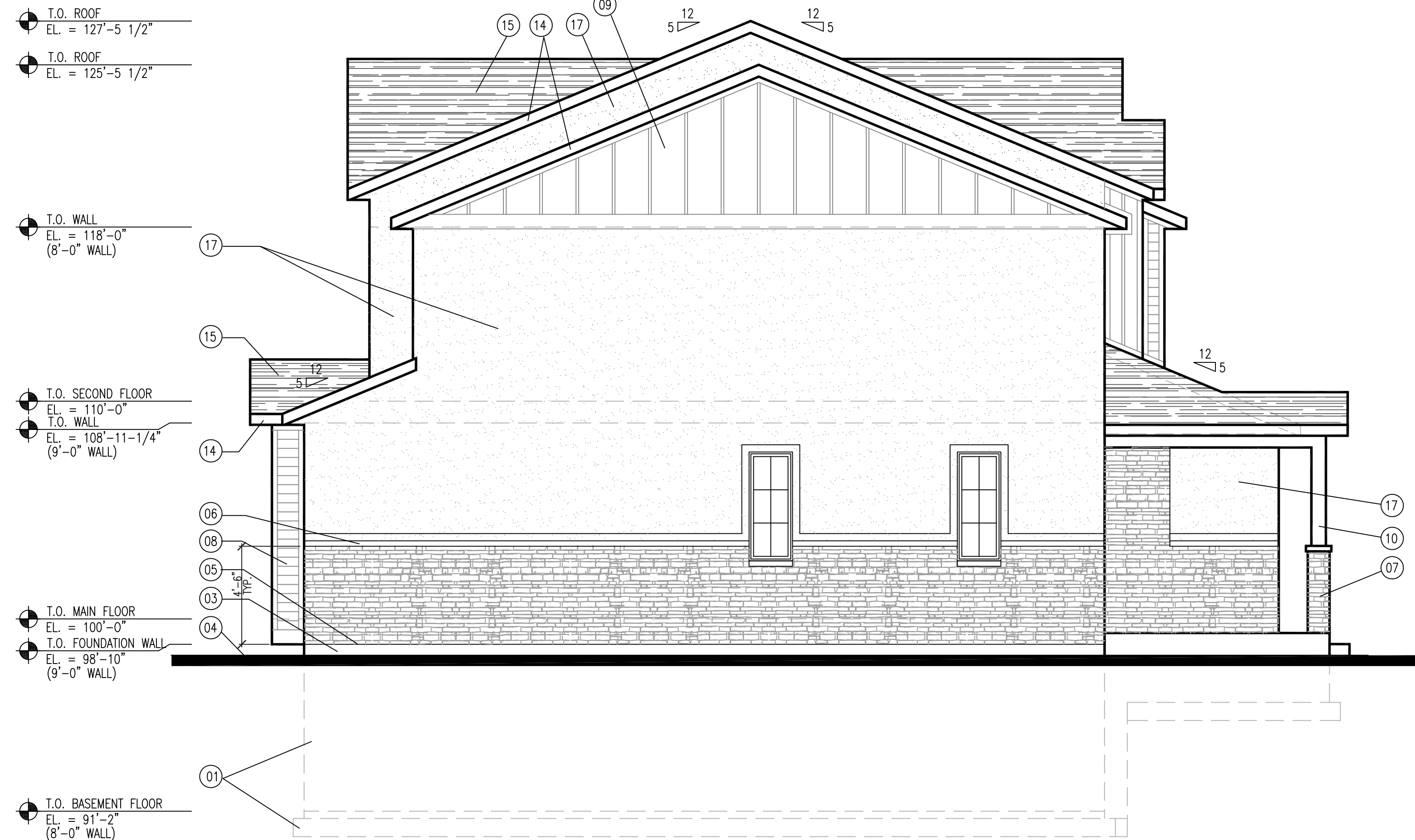
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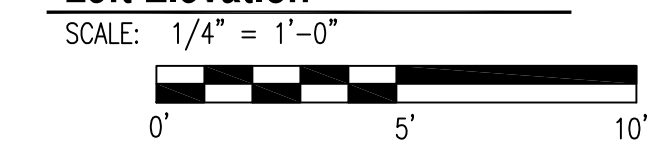
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Left Elevation

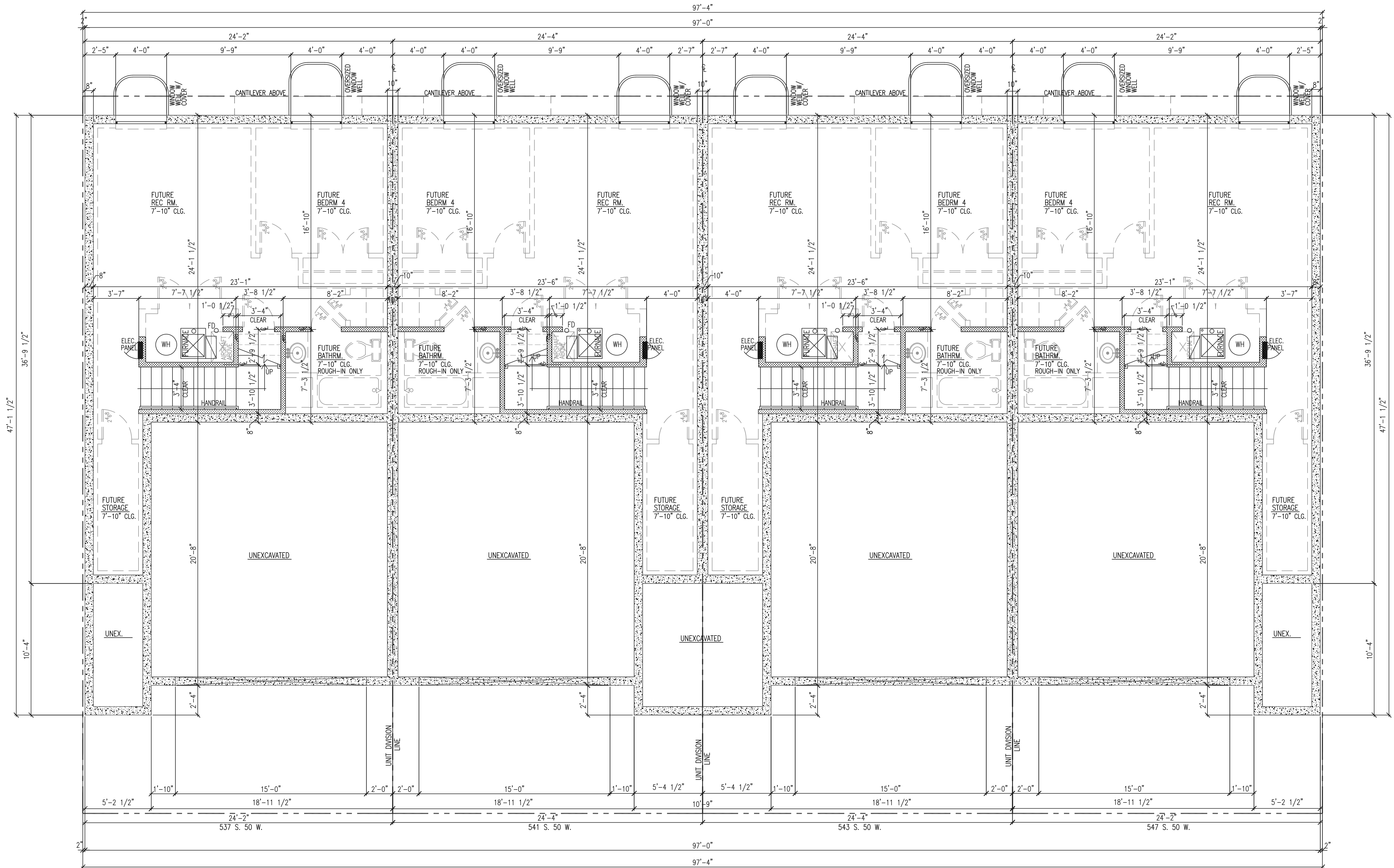


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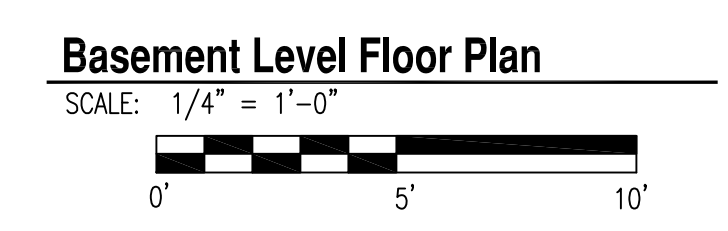
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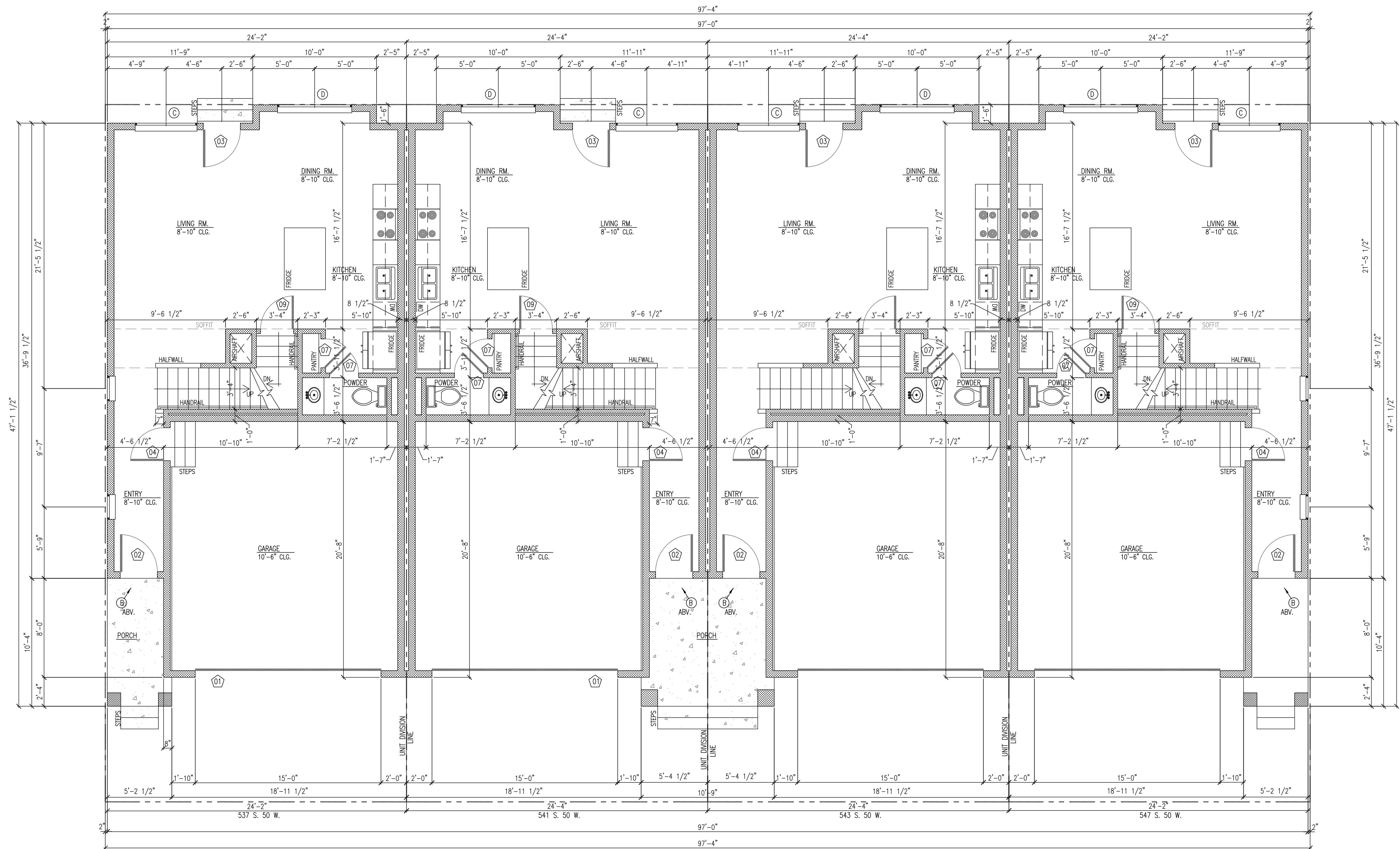
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Basement Level Floor Plan

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A-1



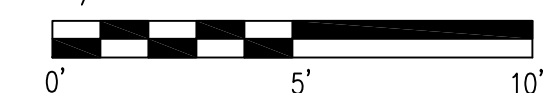


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Main Level Floor Plan

SCALE: 1/4" = 1'-0"



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A-2

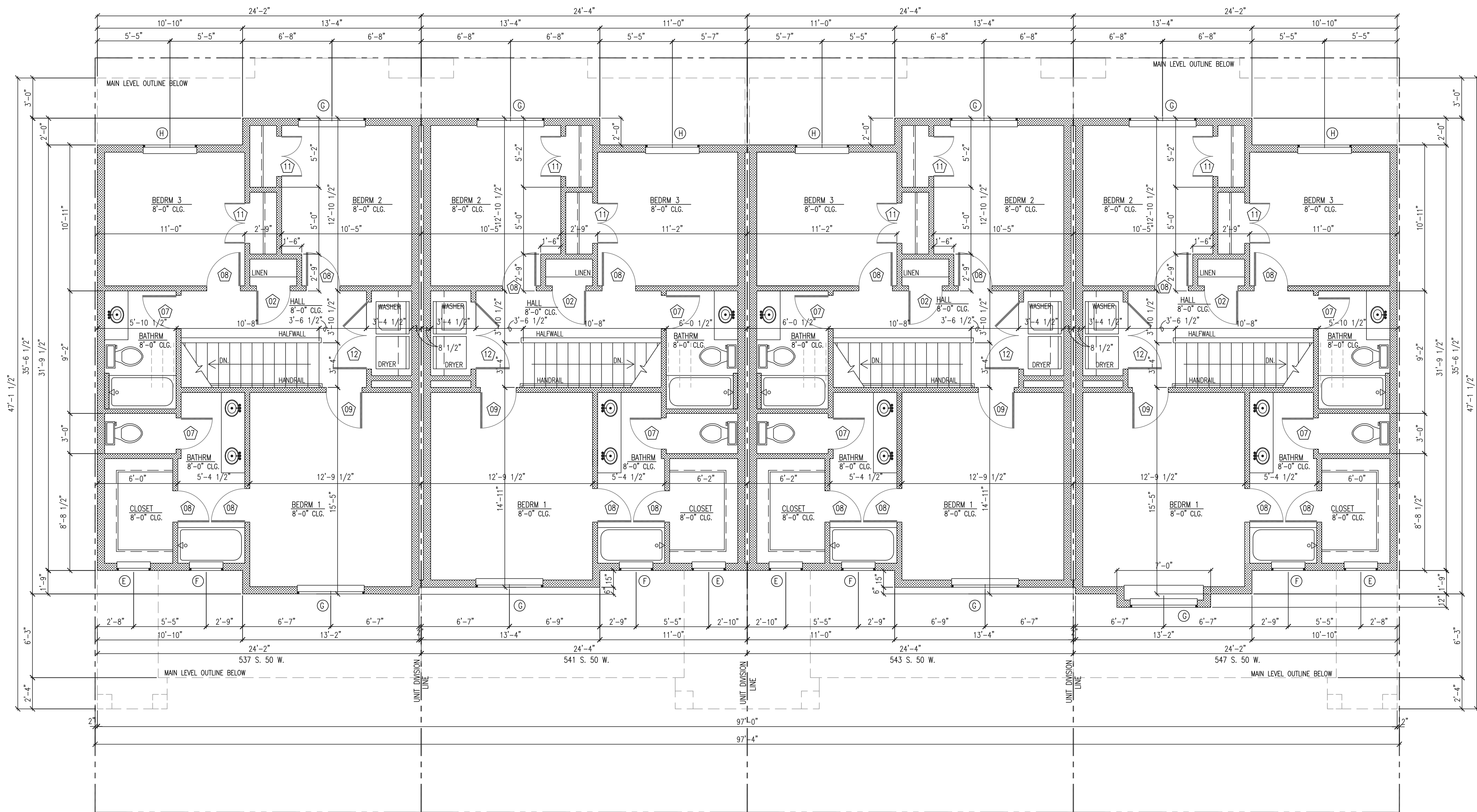
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Second Level Floor Plan

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A-3

Second Level Floor Plan
SCALE: 1/4" = 1'-0"
0 5 10'

TOOELE CITY CORPORATION

ORDINANCE 2023-40

AN ORDINANCE OF TOOELE CITY AMENDING TOOELE CITY CODE SECTION 11-1-12 REGARDING CAMPING.

WHEREAS, Utah Constitution, Article XI, Section 5 directly confers upon Utah's charter cities, including Tooele City, "the authority to exercise all powers relating to municipal affairs, and to adopt and enforce within its limits, local police, sanitary and similar regulations not in conflict with the general law"; and,

WHEREAS, Utah Code Section 10-8-84 enables Tooele City to "pass all ordinances and rules, and make all regulations . . . as are necessary and proper to provide for the safety and preserve the health, and promote the prosperity, improve the morals, peace and good order, comfort, and convenience of the city and its inhabitants, and for the protection of property in the city"; and,

WHEREAS, Tooele City Code Sections 7-1-5 and 7-14-3 and Chapter 7-14 Table 1 define and regulate the land use of "campground"; and,

WHEREAS, camping is intended for recreation purposes, not as a means of habitation or housing; and,

WHEREAS, allowing camping on public properties at all, and on private properties for habitation, is contrary to the public interest in that it creates public health, sanitation, and safety risks, and well as the appearance of blight; and,

WHEREAS, allowing camping on public properties like streets, sidewalks, buildings, grounds, and parks is contrary to the public interest in that it discourages the use of those properties by the general public for their intended uses, e.g., obstructing pedestrian traffic on sidewalks; and,

WHEREAS, the City Council acknowledges the principle of private property rights and allowing property owners to use their properties as the owners desire, but must exercise their fiduciary duty to the public to regulate the use of private property when uses create public health, sanitation, and safety risks, as well as blight; and,

WHEREAS, on October 20, 2021, the City passed Ordinance 2021-36 and enacted TCC Section 11-1-12, to prohibit camping on public property except as permitted by the City, and to prohibit longer-term habitational camping on private property, as a way of balancing a respect for private property rights and the need to preserve the public health, safety, and welfare; and,

WHEREAS, the City Administration proposes to expand and clarify the definition of camping in order to better achieve the purposes and policies set forth in Ordinance 2021-36 and this ordinance:

NOW, THEREFORE, BE IT ORDAINED BY TOOELE CITY that Tooele City Code Section 11-1-12 regarding Unlawful Camping is hereby amended, as shown in Exhibit A.

This Ordinance shall become effective upon passage, without further publication, by authority of the Tooele City Charter.

IN WITNESS WHEREOF, this Ordinance is passed by the Tooele City Council this ____ day of _____, 2023.

TOOELE CITY COUNCIL

(For)

(Against)

ABSTAINING: _____

MAYOR OF TOOELE CITY

(Approved)

(Disapproved)

ATTEST:

Michelle Y. Pitt, City Recorder

S E A L

Approved as to Form:

Roger Evans Baker, City Attorney

Exhibit A

Proposed TCC Section 11-1-12
Unlawful Camping

authorized representative of the entity, to allow a minor to enter any portion of the business premises which is closed to minors pursuant to the requirements of this chapter; the standard of care imposed is negligence.

(e) It shall be unlawful for any adult person having care, custody, or control of a minor, or any adult person directly accompanying a minor, to knowingly permit the minor to enter any portion of a business which is closed to minors pursuant to the provisions of this chapter.

(f) It shall be unlawful for the owner or lessor of any real property to knowingly allow the property to be used in violation of any part of this chapter.

(g) It shall be an affirmative defense to prosecution under this chapter that the minor produced state-issued, picture identification which indicated that the minor was nineteen or older, and after examining the identification and observing the minor, a reasonable person would have concluded that the minor was nineteen or older; a person or entity may not reasonably rely upon any form of identification which readily appears to have been altered or fraudulently used.

(h) The prosecution shall not be required to introduce expert testimony or scientific evidence to establish a community standard with respect to minors and harmful material.

(i) A violation of any portion of this subsection shall be a class B misdemeanor with a minimum fine of \$400 for each separate offense. Upon a second conviction and all subsequent convictions, the minimum fine shall be \$600. Each day that a violation continues shall constitute a separate offense.

(5) Severability.

In the event that any provision of this Chapter is declared invalid by a court of competent jurisdiction, the remaining provisions shall continue in effect.

(Ord. 1999-18, 06-16-1999)

11-1-11. Park closure – permits – penalty.

(1) All city-owned public parks shall be closed to all persons between the hours of 11:00 p.m. and 6:00 a.m. unless otherwise signed. All city-owned skating facilities shall be closed to all persons between the hours of 10:00 p.m. and 6:00 a.m. unless otherwise signed. For purposes of this Section, the public right-of-way (including streets, sidewalks, and park strips) adjacent to a park is not considered part of the park. In exceptional circumstances, and for periods not to exceed 60 days, the Mayor may authorize signage setting different closure hours for individual parks.

(2) The Parks and Recreation Department may issue permits to persons desiring to occupy a public park or skating facility during closure hours.

(3) All persons in a city-owned public park or skating facility during closure hours, without a valid permit, shall be in violation of Utah Code §76-6-206 (Criminal Trespass), as amended.

(Ord. 2010-08, 10-06-2010)

11-1-12. Unlawful Camping.

(1) It shall be unlawful for any person to camp on public grounds, except as follows:

(a) in cases of local emergency as declared by the Mayor; or,

(b) with a City permit or other City written authorization.

(2) For any person camping in violation of this Section, it shall be unlawful for that person to fail to remove that person's camping equipment within 30 minutes of being requested to do so by a police officer.

(3) It shall be unlawful for any person to camp on private land outside of a legal campground for more than five consecutive days or nights, or for more than five days or nights in any given calendar month.

(4) Definitions.

(a) "Camp" or "camping" means any act taken for the apparent purpose of establishing temporary or permanent living or sleeping accommodations, and includes the following: erecting a tent or shelter of any material; using or preparing a sleeping bag or other bedding material, including a blanket; storing personal belongings; cooking or making a fire in a place that has not been authorized or established for those uses; and, parking a motor vehicle, motor home, recreational vehicle, camper, or trailer for the apparent primary purpose of sleeping.

(b) When a park is open to the public, "camp" or "camping" shall not mean periods of brief napping or the temporary use of umbrella, canopy, or other sheltering materials for picnicking, sporting events, or other temporary recreational activities in that park. ~~live in a tent, fly, lean-to, tarpaulin, or any other type of camping equipment, for any length of time.~~

(c) "Public grounds" means any land owned or operated by Tooele City.

(5) Violations and Penalties. A violation of this section shall constitute a class C misdemeanor.

(Ord. 2021-36, 10-20-2021)

TOOELE CITY CORPORATION

RESOLUTION 2023-86

A RESOLUTION OF THE TOOELE CITY COUNCIL AUTHORIZING PAYMENT OF A FEE IN LIEU OF WATER RIGHTS CONVEYANCE FOR MICROTEL MODA HOTEL PROJECT.

WHEREAS, Tooele City Code Chapter 7-26 governs the exaction by Tooele City of water rights as a condition of land use approval (see also UCA 10-9a-508); and,

WHEREAS, TCC Section 7-26-2(2) empowers the City Council to adopt a legislative policy allowing for the payment of a fee in lieu of water rights conveyance: “Fee-in-lieu. Pursuant to established City Council policy, in lieu of actual conveyance of water rights pursuant to this Chapter, certain development applicants may pay to the City an amount per acre-foot for access to water rights controlled by the City in a quantity necessary to satisfy the anticipated future water needs of the proposed development to be served and supplied by the City water system”; and,

WHEREAS, on May 18, 2022, the City Council approved Resolution 2022-29, adopting an updated fee-in-lieu of water rights conveyance policy referred to in TCC 7-26-2(2), with an effective date of June 1, 2022 (with the original policy being adopted in 2007) (see the June 1 policy attached as Exhibit B); and,

WHEREAS, the June 1 policy encourages the consideration of at least the following factors in considering requests to pay the fee-in-lieu:

- The number of acre-feet of water rights requested.
- The availability of City-owned water rights and corresponding water sources.
- The number of jobs the development is anticipated to create, together with the nature of the jobs (e.g., full-time) and job compensation (e.g., wage levels, benefits).
- The amount of sales tax the development is anticipated to generate.
- The amount of property tax the development is anticipated to generate.
- The anticipated environmental, social, and community impacts of the development.

WHEREAS, the City Council retains sole and exclusive legislative discretion in deciding to allow the payment of the fee-in-lieu; and,

WHEREAS, on March 15, 2023, the City Council approved Resolution 2023-19, by a vote of 5-0, authorizing Microtel to pay a fee in lieu of water rights conveyance for

8.0 acre-feet of municipal water rights (see Resolution 2023-19 attached as Exhibit A); and,

WHEREAS, upon further review of its development plans, Microtel has determined that its total water rights need is 9.24 acre-feet, and has requested City Council authorization to pay the fee-in-lieu for an additional 1.24 acre-feet; and,

WHEREAS, the Project will consist of a 93-room hotel; and,

WHEREAS, the Project proposal addresses the policy considerations identified above and in the June 1 policy in the following ways:

- The Project requests 1.24 additional acre-feet of water.
- A mixture of long-term stay accommodations and traditional short-term units.
- The creation of an estimated 15 jobs, with a mix of management level, full time, and part time employees
- The generation of new sales tax, transient room tax, and commercial and tourism activity.

NOW, THEREFORE, BE IT RESOLVED BY THE TOOELE CITY COUNCIL that, in light of the legislative policies and considerations discussed above, the City Council hereby authorizes the payment of the fee-in-lieu of water rights for the Project, for up to 1.24 acre-feet of municipal water rights, for the fee amount established in the June 1 policy of \$35,000 per acre-foot.

This Resolution is necessary for the immediate preservation of the peace, health, safety, or welfare of Tooele City and shall become effective upon passage, without further publication, by authority of the Tooele City Charter.

IN WITNESS WHEREOF, this Resolution is passed by the Tooele City Council this ____ day of _____, 202__.

TOOELE CITY COUNCIL

(For)

(Against)

ABSTAINING: _____

TOOELE CITY MAYOR

(Approved)

(Disapproved)

ATTEST:

Michelle Y. Pitt, City Recorder

S E A L

Approved as to Form:

Roger Evans Baker, Tooele City Attorney

Exhibit A

Resolution 2023-19 of the Tooele City Council

TOOELE CITY CORPORATION

RESOLUTION 2023-19

A RESOLUTION OF THE TOOELE CITY COUNCIL AUTHORIZING PAYMENT OF A FEE-IN-LIEU OF WATER RIGHTS CONVEYANCE FOR THE MICROTEL MODA HOTEL PROJECT.

WHEREAS, Tooele City Code Chapter 7-26 governs the exaction by Tooele City of water rights as a condition of land use approval (see also UCA 10-9a-508); and,

WHEREAS, TCC Section 7-26-2(2) empowers the City Council to adopt a legislative policy allowing for the payment of a fee in lieu of water rights conveyance: "Fee-in-lieu. Pursuant to established City Council policy, in lieu of actual conveyance of water rights pursuant to this Chapter, certain development applicants may pay to the City an amount per acre-foot for access to water rights controlled by the City in a quantity necessary to satisfy the anticipated future water needs of the proposed development to be served and supplied by the City water system"; and,

WHEREAS, on May 18, 2022, the City Council approved Resolution 2022-29, adopting an updated fee-in-lieu of water rights conveyance policy referred to in TCC 7-26-2(2), with an effective date of June 1, 2022 (with the original policy being adopted in 2007) (see the June 1 policy attached as Exhibit B); and,

WHEREAS, the June 1 policy encourages the consideration of at least the following factors in considering requests to pay the fee-in-lieu:

- The number of acre-feet of water rights requested.
- The availability of City-owned water rights and corresponding water sources.
- The number of jobs the development is anticipated to create, together with the nature of the jobs (e.g., full-time) and job compensation (e.g., wage levels, benefits).
- The amount of sales tax the development is anticipated to generate.
- The amount of property tax the development is anticipated to generate.
- The anticipated environmental, social, and community impacts of the development.

WHEREAS, the City Council retains sole and exclusive legislative discretion in deciding to allow the payment of the fee-in-lieu; and,

WHEREAS, Tooele City received from Leo Mantas representing the World Links Group and Microtel Moda Hotel ("the Project") a letter dated February 17, 2023, requesting the allocation of 8.00 acre-feet of City-owned municipal water rights to the

Project, or, in other words, requesting to pay the fee-in-lieu rather than convey water rights (see the letter attached as Exhibit A; and,

WHEREAS, the Project will consist of construction of a four story, 93 room hotel; and,

WHEREAS, the Project proposal addresses the policy considerations identified above and in the June 1 policy in the following ways:

- The Project requests 8.00 acre-feet of water.
- The creation of an estimated 15 jobs, with a mix of management level, full time, and part time employees.
- The generation of new sales tax and transient room tax from hotel room reservations.
- A mixture of long-term stay accommodations and traditional short-term units.
- An emphasis on water fixtures and landscaping that conserve water.

NOW, THEREFORE, BE IT RESOLVED BY THE TOOELE CITY COUNCIL that, in light of the legislative policies and considerations discussed above, the City Council hereby authorizes the payment of the fee-in-lieu of water rights for the Project, for up to 8.00 acre-feet of municipal water rights, for the fee amount established in the June 1 policy of \$35,000 per acre-foot., *conditioned upon issuance of a building permit for the Project within two (2) years of the date of this Resolution.*

This Resolution is necessary for the immediate preservation of the peace, health, safety, or welfare of Tooele City and shall become effective upon passage, without further publication, by authority of the Tooele City Charter.

IN WITNESS WHEREOF, this Resolution is passed by the Tooele City Council this 15th day of March, 2023.

TOOELE CITY COUNCIL

(For)

(Against)

[Signature]

Justin Brady

[Signature]

[Signature]

Tony Graf, via phone

ABSTAINING: _____

TOOELE CITY MAYOR

(Approved)

(Disapproved)

[Signature]

ATTEST:

[Signature]
Michelle Y. Pitt, City Recorder



Approved as to Form:

[Signature]
Roger Evans Baker, Tooele City Attorney

Exhibit A

February 17, 2023, Letter
Microtel Moda Hotel



February 17, 2023

Tooele City
Office of Mayor
90 N Main Street
Tooele, Utah 84074

RE: Request to buy Tooele City Water Certificates for:
Microtel Moda Hotel (located on a two-acre plot directly south of the building located at
2318 North 470 East. Please see attached hotel schematic and additional information.

Dear Mayor Wynn:

Our company World Links Groups, is currently working with your planning and zoning department to secure a building permit to build the first Microtel Moda hotel of its kind in Utah.

As we discussed, this hotel commercial project will be one of many development projects we intend to build in Tooele City. We would sincerely like to collaborate with you, the city council, and key citizens groups to enhance the retail and residential (multi family) growth possibilities and create pockets for people to live, work and socialize.

I am aware of the Tooele water shortage problems you are currently experiencing. Our hotel project will be installing the latest high-tech water hardware and software designed to lower all types of water usage. Including a hot water "on demand" system, eco-friendly toilets (dual flush), shower and sink heads. The landscaping will be designed for "water saving xeriscape/drought tolerant" plants. No sodded grass involved.

It has come to my attention, that on September 21, 2022 a John Potter (Applicant) asked AND was granted 20-acre feet of water at \$15,000 per acre ft. of which 10-acre ft. would be used for a similar hotel to ours. Given our commitment to reducing water usage in our hotel, WLG would like to acquire 8 acre ft. of water at \$15,000 per acre ft., via a payment in lieu of conveyance..

Our hotel staff will work closely with public and private officials to create activities that will attract visitors and new businesses. We hope to create 5 to 15 new jobs, increase the property tax base and provide a good revenue stream for Tooele City.

Please feel free to contact me directly for questions or additional information you might need.

Respectfully submitted for your review

Name: Microtel Moda (91 rooms)
Address: 2284 North 470 East
Permit No: P23-819

Water Rights and Impact Fee Analysis Commercial / Industrial

9/12/2023

Water Rights - Interior Use	0	8.26 acre feet/year	<i>91 room s x 81 gal/day/room (as provided by Developer and same as used for Home 2 Suites)</i>
Net interior Demand=		8.26 acre-feet (100% depletion)	

Water Rights -Exterior Use	Landscape Area S.F.	Acres	Water Right Duty (per acre)	Water Right acre-feet	
Sod		0.00	4.00	0.00	
Water Conservation Area	21,374	0.49	2	0.98	(planting beds / shrub per Larry Scheiderer)
Net Exterior Demand=	21,374	0.49		0.98	acre feet

(Payment In Lieu Resolution 2023-19)
TOTAL WATER RIGHT REQUIREMENT (Interior + exterior)= 9.24 acre-feet
If purchased thru Payment in Lieu, Cost would be equal to \$35,000 x AF required = \$323,347.57

Sewer Impact	Future Interior Usage	gpd	(Sewer Impact Fee Revised Feb 2012). Base Fee \$2290 per ERU
	7,371		
	0		
	7,371		
Net Sewer Impact Fee=	\$48,227.40		gpd (Net ERU =350 gpd/ERU)

Water Impact	Acre Foot Use	Total	
Future Impact	9.24		
Historic Use			
Net Water Impact Fee=	9.24	\$110,933.09	Water Impact Base Fee \$7,805 per ERU 1 ERU = 0.65 acre feet

Public Safety Impact	(Requires both Fire and Police Component)			
Building s.f.	Cost per 1000 s.f.	Total		
10,096	\$187.40	\$1,891.99	Fire - Commercial	
	\$111.40	NA	Fire - Industrial	
10,096	\$164.70	\$1,662.81	Police - Commercial	
	\$17.40	NA	Police - Industrial	
Net Public Safety Impact Fee=		\$3,554.80		

Parks Impact (Not Applicable for Commercial / Industrial) Not Applicable for Commercial / Industrial Property

Exhibit B

June 1, 2022, Fee-in-lieu Policy



City Council Policy

RE: Payment In Lieu Of Water Rights Conveyance under Tooele City Code §7-26-3(2).

Effective Date: June 1, 2022

Tooele City Code Chapter 7-26 requires the conveyance of water rights as a condition of approval of all land use applications. Section 7-26-3(2) states the following:

Fee-in-lieu. Pursuant to established City Council policy, in lieu of actual conveyance of water rights pursuant to this Chapter, certain development applicants may pay to the City an amount per acre-foot for access to water rights controlled by the City in a quantity necessary to satisfy the anticipated future water needs of the proposed development to be served and supplied by the City water system.

This City Council Policy is established pursuant to the authority embodied in §7-26-3(2).

Residential Development. Beginning on the Effective Date, Tooele City will allow owners of existing parcels of record that are not part of a recorded subdivision, and owners of single lots subdivided from those existing parcels through two-lot subdivisions (e.g., a lot split), to pay a fee (the "Fee") per parcel or lot in lieu of the residential water right requirement established in TCC §7-26-2(1). The item for which the Fee is paid shall be known for purposes of this Policy as a Water Rights Credit or Credit.

Credits will be available on a first-come first-served basis. The Fee shall be paid in full prior to building permit issuance. Should a building permit for which the Fee was paid expire under the terms of the permit, the City will refund the Fee, minus a \$100 administrative service charge. An owner who previously paid the Fee and received a Fee refund due to an expired building permit may submit a new building permit application and pay the Fee on a first-come first-served basis behind others who paid the Fee and whose building permits remain valid.

Non-residential Development. Beginning on the Effective Date, Tooele City will allow owners of non-residential developments to pay the Fee if the development is determined by the City to need less than 20 acre-feet of municipal water rights. Additional Credits may be made available, upon recommendation of the Public Works Director and with written approval of the Mayor, after full consideration of the following criteria in relation to the amount of water used:

- The number of jobs the development is anticipated to create, together with the nature of the jobs (e.g., full-time) and job compensation (e.g., wage levels, benefits).
- The amount of sales tax the development is anticipated to generate.
- The amount of property tax the development is anticipated to generate.
- The anticipated environmental and social impacts of the development.

Credits will be available on a first-come first-served basis. The Fee shall be paid in full prior to building permit issuance. Should a building permit for which the Fee was paid expire under the terms of the permit, the City will refund the Fee, minus a \$100 administrative service charge. An owner who previously paid the Fee and received a Fee refund due to an expired building permit may submit a new building

permit application and pay the Fee on a first-come first-served basis behind others who paid the Fee and whose building permits remain valid.

General.

1. The Fee shall be established at \$35,000 per Credit, each Credit being the equivalent of 1.0 acre-foot of municipal water rights.
2. Credits sold pursuant to this Policy shall not exceed a total of 50 acre-feet of municipal water rights in any calendar year without the approval of the City Council.
3. Upon payment of the Fee, the City will indicate such payment on the approved building permit.
4. This Policy shall supersede any prior oral or written policies or practices on the subject of this Policy.
5. Revenues derived from the sale of Credits shall be utilized for the protection of existing water rights and/or the purchase of additional water rights, except that the City Council may authorize the use of such revenues for other Tooele City water-related projects and/or needs upon a finding of good cause.
6. The sale of Water Rights Credits under this Policy is subject to the availability of corresponding water rights, in the sole discretion of Tooele City.


Chairman

**TOOELE CITY CORPORATION
FISCAL NOTE TO PROPOSED EXPENDITURE**

09/28/23

DESCRIPTION OF EXPENDITURE:

VENDOR: TOOELE COUNTY

V# 06365

RETURN UNSPENT GRANT FUNDS FOR COG SALES TAX GRANT - MAIN STREET PARKING GRANT

REVENUE LINE ITEM:	ACCOUNT NUMBER	CURRENT BUDGET	RECEIPTS TO DATE	ADDITIONAL FUNDING	TOTAL FUNDING
					0.00

EXPENDITURE LINE ITEM	ACCOUNT NUMBER	ADJUSTED BUDGET	Y. T. D. EXPENSES	PROPOSED EXPENSE	BUDGET BALANCE
COG SALES TAX GRANT - COUNTY	110 4411 731010	0.00	1,946.50	37,536.11	(39,482.61)
TOTAL:				37,536.11	

*WILL BRING BUDGET ADJ FOR REVENUE RECEIVED IN PRIOR YEAR

REQUESTED *Administrators*
DEPARTMENT HEAD

REVIEWED *Sharon Wimmer*
FINANCE DIRECTOR

APPROVED _____
MAYOR

APPROVED _____
COUNCIL CHAIRMAN

Memo

To: Shannon Wimmer
From: Clarissa Pankratz
Date: 9/19/2023
Re: Main Street Parking Excess Funds

Shannon –

Please accept this memo as a request to issue payment to Tooele County (Vendor #06365) in the amount of \$37,536.11 payable from line item 10-4411-731010 (COG Sales Tax Grant) for excess funds from the Main Street Parking Grant.

Please let me know if you have any questions

Thanks!

Clarissa

VENDOR #	<u>06365</u>
P.O. #	_____
DEPT. #	<u>10-4411-731010</u>
DATE	<u>9-19-2023</u>
AMOUNT	<u>\$37,536.11</u>
SIGNATURE	_____

Clarissa Pankratz

From: Meghan Von Hatten <meghan.vonhatten@tooeleco.org>
Sent: Thursday, September 14, 2023 2:16 PM
To: Jared Stewart <jareds@TooeleCity.org>
Cc: Alison McCoy <alison.mccoy@tooeleco.org>; Brittany Lopez <brittany.lopez@tooeleco.org>
Subject: RE: COG 3rd Quarter Funds - Main Street Parking

Jared,
Thank you for letting us know. I can appreciate you trying to utilize the money in the right way. Unfortunately, the remaining funds would need to go back to COG. It states in the policy that all remaining funds be returned.

Thank you again!
Warm Regards,



Meghan VonHatten

Executive Assistant County Manager's Office
Meghan.vonhatten@tooeleco.org
435-843-3150 | www.tooeleco.org

From:
Jared
Stewart

<jareds@TooeleCity.org>
Sent: Thursday, September 14, 2023 2:05 PM
To: Meghan Von Hatten <meghan.vonhatten@tooeleco.org>; Brittany Lopez <brittany.lopez@tooeleco.org>
Subject: COG 3rd Quarter Funds - Main Street Parking

Meghan and Brittany,

The City has completed the Main Street Parking project that was funded by COG. For this project we received funds upfront. Total funding approved was \$177,136.86. The project was completed under-budget at a cost of \$139,600.75. This leaves an unspent amount of \$37,536.11.

This means the City needs to either return funds, or spend the remaining money in a way that fits within the scope. The only related project we can think of is to repair some portions of the sidewalk (specifically the brick cross sections) in the nearby areas of downtown. These are an impediment to wheelchairs and ADA use of the walkways. Repairing sidewalk in the vicinity would fit within State code required use of the transportation 3rd quarter funds.

Would Tooele County consider brick sidewalk repairs as a portion of the grant? Could you discuss and let us know if you think this would be an eligible expense? If not, we will begin processing a re-payment back to the County.

Thank you,
Jared



Jared Stewart | Tooele City Corporation
Economic Development Director | Grant Administrator
90 North Main Street | Tooele, UT | 84074
Ph: (435) 843-2169 | Cell: (801) 834-3858

**TOOELE CITY CORPORATION
FISCAL NOTE TO PROPOSED EXPENDITURE**

09/21/23

DESCRIPTION OF EXPENDITURE:

VENDOR: REHRIG PACIFIC COMPANY 07249

702 GARBAGE CANS 95 GALLON

REVENUE LINE ITEM:	ACCOUNT NUMBER	CURRENT BUDGET	RECEIPTS TO DATE	ADDITIONAL FUNDING	TOTAL FUNDING
					0.00

EXPENDITURE LINE ITEM	ACCOUNT NUMBER	ADJUSTED BUDGET	Y. T. D. EXPENSES	PROPOSED EXPENSE	BUDGET BALANCE
SPECIAL DEPARTMENT SUPPLIES	153 5300 481000	180,000.00	6,121.00	45,544.64	128,334.36
TOTAL:				45,544.64	

REQUESTED Sharon Wimmer
DEPARTMENT HEAD

REVIEWED Sharon Wimmer
FINANCE DIRECTOR

APPROVED _____
MAYOR

APPROVED _____
COUNCIL CHAIRMAN



Locations:

1000 Raco Court, Lawrenceville, GA 30046
 625 West Mockingbird Lane, Dallas, TX 75247
 1738 W. 20th St, Erie, PA 16502
 7452 Presidents Dr, Orlando, FL 32809


8875 Commerce Dr, DeSoto, KS 66018
 7800 100th St, Pleasant Prairie, WI 53158
 4010 East 26th St, Los Angeles, CA 90058

Proposa

Proposal #: 230911

September 11, 2023


Bill-to: 210376	Ship-to: 216774
Tooele City 90 N. Main Street Tooele, UT 84074	Tooele City 1015 South Coleman Street Tooele, UT 84074
Billing Contact:	Shipping Contact:
Name: Jenipher Garcia Phone: 435-843-2157 E-mail: Jenipherg@tooelecity.org	Name: Kacie Cruz Phone: 435-843-2157 E-mail: KacieC@tooelecity.org

ITEM DESCRIPTION	QUANTITY	UNIT PRICE	EXTENDE PRIC																				
Rollout Cart Type: 95 Gallon EG Cart - Garbage - 319100 Body Color: Forest Green Lid Color: Forest Green Wheels / Casters: 10" Snap on with Intergrated Spacer Options: N/A Body Artwork:  Lid Artwork: None	702	\$60.32	\$ 42,344.64																				
<table border="0"> <tr> <td>Is Product Taxable?</td> <td>No</td> <td>Subtotal =</td> <td>\$ 42,344.64</td> </tr> <tr> <td>Is Freight Taxable?</td> <td>No</td> <td>Tax on Product =</td> <td></td> </tr> <tr> <td>Tax Rate:</td> <td>Exempt</td> <td>Truckload Freight Rate =</td> <td>3,200.00</td> </tr> <tr> <td>Terms:</td> <td>Net 30 Days</td> <td>Tax on Freight =</td> <td></td> </tr> <tr> <td></td> <td></td> <td>Total =</td> <td>\$ 45,544.64</td> </tr> </table>	Is Product Taxable?	No	Subtotal =	\$ 42,344.64	Is Freight Taxable?	No	Tax on Product =		Tax Rate:	Exempt	Truckload Freight Rate =	3,200.00	Terms:	Net 30 Days	Tax on Freight =				Total =	\$ 45,544.64			
Is Product Taxable?	No	Subtotal =	\$ 42,344.64																				
Is Freight Taxable?	No	Tax on Product =																					
Tax Rate:	Exempt	Truckload Freight Rate =	3,200.00																				
Terms:	Net 30 Days	Tax on Freight =																					
		Total =	\$ 45,544.64																				

ADDITIONAL INFORMATION:

Contract Options: None
Ship From: Dallas, TX facility
Leadtime: 3 weeks or sooner
Warranty: 10 year unprorated warranty
Quote Valid: 30 Days
Taxes: All applicable taxes shall be paid by the Buyer unless a proper exemption is provided and validated.

*** All Credit Card transactions are subject to a 2% processing fee.

PRESENTED BY:	ACCEPTED BY:
 Paulo Figuerola Date: 9/11/2023 Paulo Figuerola Account Specialist- Environmental AK, WA, OR, MT, ID, WY, Northern CA, UT, NV, HI Cell: 949-466-3623 Email: pfiguerola@rehrig.com	 Sign and Print Name _____ Date _____ Title: _____

To initiate order, please call or send signed proposal via fax or email to Presented By representative.

V#07249

* Quote only *

**Tooele City Council and the Tooele City Redevelopment Agency
Work Meeting Minutes**

Date: Wednesday, September 20, 2023

Time: 5:30 p.m.

Place: Tooele City Hall, Council Chambers
90 North Main Street, Tooele, Utah

City Council Members Present:

Maresa Manzione

David McCall

Ed Hansen

Justin Brady

City Council Members Excused:

Tony Graf

City Employees Present:

Mayor Debbie Winn

Adrian Day, Police Department Chief

Holly Potter, Deputy City Recorder

Jamie Grandpre, Public Works Director

Paul Hansen, City Engineer

Jared Stewart, Economic Development Director

Andrew Aagard, Community Development Director

Matt Johnson, Deputy City Attorney

Minutes prepared by Katherin Yei

1. Open City Council Meeting

Chairman Brady called the meeting to order at 5:30 p.m.

2. Roll Call

Maresa Manzione, Present

David McCall, Present

Ed Hansen, Present

Justin Brady, Present

Tony Graf, Excused

3. Mayor's Report

Mayor Winn reported on the following:

The new facility for the Boys and Girls Club opened. Utah's league of City and Towns was successful with many discussions on leadership and collaboration.

4. Council Member's Report

The Council Members reported on the events they attended during the week.

5. Discussion Items

A. Proposed Code Amendment Regarding Multi-Family Housing Appearance Standards

Presented by Andrew Aagard, Community Development Director

Mr. Aagard presented a proposed code amendment regarding multi-family housing appearance standards. The current requirements by ordinance for the exterior of the home is 50% of the total building exterior shall be brick or stone, with 60 % of the total being on the front façade. The remaining 50% of the exterior can be stucco, fiber cement or hardy board, board and batten siding, wood siding, masonry block, or vinyl siding. Many design deviations requests have come in. Developers are concerned the requirements are making the developments to expensive.

A few options to amend the code are as follows:

Eliminate requirements for brick or stone all together, reduce requirement for brick or stone to 10%, must use at least 3 types of siding to the approved list, and or one material may not exceed 40% of total building façade.

The City Council asked the following:

What is the standard for single-family home?

Does the wood siding need to be treated and maintained?

The Council discussed the look of siding. Reducing the amount of brick and stone, longevity and quality of products, and the appealing look of multiple materials.

Mr. Aagard addressed the Council's questions. The State of Utah passed a law that revoked a City's control over the exterior façade of a single-family home. However, the City does have an ordinance to encourage developers. Staff would recommend a change of 25% of brick or stone on the front façade. As well as a minimum of three types of materials from the approved list.

The Council is in favor of discussing a change.

Administration will put together an amendment and bring it to another work meeting.

6. Closed Meeting - Litigation, Property Acquisition, and/or Personnel

Council Member McCall motioned for a closed meeting. Council Member Hansen seconded the motion. The vote was as follows: Council Member Hansen, "Aye," Council Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye." The motion passed.

The meeting was recessed at 6:15.

Chairman Brady called the closed meeting to order at 6:19 p.m.

Those in attendance during the closed meeting: Council Member Hansen, Council Member Manzione, Council Member McCall, Chairman Brady, Mayor Debbie Winn, Paul Hansen, Holly Potter, Chief Adrian Day, Jared Stewart, Matt Johnson, and Andrew Aagard.
No minutes were taken during the closed meeting.

7. Adjourn

Chairman Brady adjourned the meeting at 6:38 p.m.

The content of the minutes is not intended, nor are they submitted, as a verbatim transcription of the meeting. These minutes are a brief overview of what occurred at the meeting.

Approved this ____ day of October, 2023

Justin Brady, City Council Chair

DRAFT

Tooele City Council Business Meeting Minutes

Date: Wednesday, September 20, 2023

Time: 7:00 p.m.

Place: Tooele City Hall, Council Chambers
90 North Main Street, Tooele, Utah

City Council Members Present:

Ed Hansen

Maresa Manzione

Dave McCall

Justin Brady

City Council Members Excused:

Tony Graf

City Employees Present:

Mayor Debbie Winn

Adrian Day, Police Department Chief

Matt Johnson, Deputy City Attorney

Kaycee Cruz, Deputy Finance Director

Holly Potter, Deputy City Recorder

Jamie Grandpre, Public Works Director

Paul Hansen, City Engineer

Darwin Cook, Parks and Recreation Director

Jared Stewart, Economic Development Director

Andrew Aagard, Community Development Director

Minutes prepared by Katherin Yei

Chairman Brady called the meeting to order at 7:08 p.m.

1. Pledge of Allegiance

The Pledge of Allegiance was led by Chairman Brady

2. Roll Call

Ed Hansen, Present

Maresa Manzione, Present

Dave McCall, Present

Justin Brady, Present

Tony Graf, Excused

3. Mayor's Community Recognition Awards

Mayor Winn presented the Community Recognition award to the following:

Al and Bonnie

4. Dow James Memorial Presentation

Mayor Winn presented the Dow James Memorial monument. Dow James monument donors include the following: Geneva Rock, Tooele Valley and Tooele City Fire Department, Rocky Mountain Power, Tooele County, Andrew's Custom Concrete, Bit N' Spur, Christensen & Griffith, England Construction, Ensign Engineering, and Tate Mortuary & Cole Houghton Family.

5. Public Comment Period

The public hearing was opened. No one came forward. The public hearing was closed.

6. Small Business Development Center Presentation

Presented by Jess Clifford, SBDC Director Tooele Region

Mr. Clifford presented the Small Business Development Center activity and impact report.

7. Public Hearing & Motion on Ordinance 2023-36 An Ordinance of Tooele City Amending Tooele City Code Section 7-16-4 Table 2: Table of Development Standards, for Maximum Building Heights in the Industrial Zoning District

Presented by Andrew Aagard, Community Development Director

Mr. Aagard presented an amendment to Tooele City Code section 7-16-4, Table 2 in regards to development standards for maximum building heights in the Industrial Zoning District. This request would affect businesses on the west side of the rail road tracks. The amendments include approval from the Fire Department before the Planning Commission can approve a conditional use permit.

The public hearing was opened. No one came forward. The public hearing was closed.

Council Member Hansen motioned to approve Ordinance 2023-36 An Ordinance of Tooele City Amending Tooele City Code Section 7-16-4 Table 2: Table of Development Standards, for Maximum Building Heights in the Industrial Zoning District. Council Member Manzione seconded the motion. The vote was as follows: Council Member Hansen, "Aye," Council Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye." The motion passed.

8. Public Hearing & Motion on Ordinance 2023-38 An Ordinance of Tooele City Reassigning the Zoning for Approximately 0.24 Acres of Property Located at 215 South 200 East from R1-7 Residential to MU-G Mixed Use General

Presented by Andrew Aagard, Community Development Director

Mr. Aagard presented the reassignment of the zoning located at 215 South 200 East from R1-7 Residential to MU-G, Mixed Use General. This is for an existing structure. To remove the legally non-conformity restrictions from the building, the owner has requested the rezone.

The public hearing was opened. No one came forward. The public hearing was closed.

Council Member McCall motioned to approve Ordinance 2023-38 An Ordinance of Tooele City Reassigning the Zoning for Approximately 0.24 Acres of Property Located at 215 South 200 East from R1-7 Residential to MU G Mixed Use General. Council Member Manzione seconded the motion. The vote was as follows: Council Member Hansen, "Aye," Council Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye." The motion passed.

9. Resolution 2023-76 A Resolution of the Tooele City Council Approving an Agreement for Mutual Aid Fire Protection, Special Emergency Operations, and Wildland Fire Responses, Between Tooele County and Tooele City

Presented by Matt McCoy, Fire Chief

Chief McCoy presented an agreement for mutual aid fire protection, special emergency operations, and wildland fire responses between Tooele County and Tooele City.

Council Member Manzione motioned to approve Resolution 2023-76; A Resolution of the Tooele City Council Approving an Agreement for Mutual Aid Fire Protection, Special Emergency Operations, and Wildland Fire Responses, Between Tooele County and Tooele City. Council Member McCall seconded the motion. The vote was as follows: Council Member Hansen, "Aye," Council Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye." The motion passed.

10. Resolution 2023-77 A Resolution of the Tooele City Council Amending the Tooele City Fee Schedule Regarding Nuisance Civil Citation Appeal Fees

Presented by Chief Day

Chief Day presented an amendment to the Tooele City Fee Schedule regarding nuisance civil citation appeal fees with the lowest amount as \$25.

Council Member Hansen motioned to approve Resolution 2023-77 A Resolution of the Tooele City Council Amending the Tooele City Fee Schedule Regarding Nuisance Civil Citation Appeal Fees. Council Member Manzione seconded the motion. The vote was as follows: Council Member Hansen, "Aye," Council Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye." The motion passed.

11. Resolution 2023-78 A Resolution of the Tooele City Council Amending the Tooele City Fee Schedule Regarding Dow James Recreation Complex Use Fees

Presented by Darwin Cook, Parks & Recreation Director

Mr. Cook presented an amendment for the Tooele City Fee schedule regarding Dow James Recreation Complex use fees. Staff is asking to combine two fees in regards to non-profit reservations into one fee. The cost is \$15 per hour with a maximum amount of \$60 per day.

Council Member Manzione motioned to approve Resolution 2023-78; A Resolution of the Tooele City Council Amending the Tooele City Fee Schedule Regarding Dow James

Recreation Complex Use Fees. Council Member McCall seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council Member Brady, “Aye,” Council Member Manzione, “Aye,” Council Member McCall, “Aye.” The motion passed.

12. Resolution 2023-80 A Resolution of the Tooele City Council Approving an Agreement with American Chiller Mechanical Services for Chiller Replacement at Tooele City Hall
Presented by Darwin Cook, Parks & Recreation Director

Mr. Cook presented an agreement with America Chiller Mechanical Services for Chiller Replacement at Tooele City Hall in the amount of \$134,500. They will begin the project in November when there is less demand on the chiller.

Council Member McCall motioned to approve Resolution 2023-80. Council Member Hansen seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council Member Brady, “Aye,” Council Member Manzione, “Aye,” Council Member McCall, “Aye.” The motion passed.

13. Resolution 2023-81 A Resolution of the Tooele City Council Approving an Agreement with American Chiller Mechanical Services for Heating and Air Conditioning Equipment at the Tooele City Animal Shelter
Presented by Darwin Cook, Parks & Recreation Director

Mr. Cook presented an agreement with America Chiller Mechanical Services for heating and air condition equipment at the Tooele City Animal Shelter in the amount of \$56,600. The unit is the wrong size for the building. The department will keep the unit being removed for future use elsewhere.

Council Member Hansen motioned to approve Resolution 2023-81; A Resolution of the Tooele City Council Approving an Agreement with American Chiller Mechanical Services for Heating and Air Conditioning Equipment at the Tooele City Animal Shelter. Council Member Manzione seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council Member Brady, “Aye,” Council Member Manzione, “Aye,” Council Member McCall, “Aye.” The motion passed.

14. Resolution 2023-82 A Resolution of the Tooele City Council Approving an Agreement with American Chiller Mechanical Services for Heating and Air Conditioning Equipment at the Tooele City Parks & Recreation Department Office Building
Presented by Darwin Cook, Parks & Recreation Director

Mr. Cook presented an agreement with American Chiller Mechanical Services for heating and air condition throughout the building at the Tooele City Parks & Recreation Department office building in the amount of \$278,550 from the general fund and the par tax.

Council Member Manzione motioned to approve Resolution 2023-82. Council Member McCall seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council

Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye."
The motion passed.

15. Resolution 2023-79 A Resolution of the Tooele City Council Approving and Ratifying a General Consulting Agreement with WSRP Certified Public Accountants Regarding the City Financial Statements for FY23

Presented by Kaycee Cruz, Deputy Finance Director

Ms. Cruz presented an agreement with General Consulting Agreement with WSRP Certified Public Accountants Regarding the City Financial Statements for FY23 in the amount of \$43,000 including a single audit because the City still has ARPA funds.

Council Member Manzione motioned to approve Resolution 2023-79 A Resolution of the Tooele City Council Approving and Ratifying a General Consulting Agreement with WSRP Certified Public Accountants Regarding the City Financial Statements for FY23. Council Member McCall seconded the motion. The vote was as follows: Council Member Hansen, "Aye," Council Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye." The motion passed.

16. Resolution 2023-83 A Resolution of the Tooele City Council Approving a Memorandum of Understanding with Tooele Technical College (TTECH) for its Small Business Development Center (SBDC)

Presented by Debbie Winn, Mayor

Mayor Winn presented a memorandum of understanding with Tooele Technical College to support the small business development center. This is a 5-year term. For this year it is \$15,000. The following 4 years will be \$20,000. The funds come from the RDA.

Council Member Hansen motioned to approve Resolution 2023-83 A Resolution of the Tooele City Council Approving a Memorandum of Understanding with Tooele Technical College (TTECH) for its Small Business Development Center (SBDC). Council Member Manzione seconded the motion. The vote was as follows: Council Member Hansen, "Aye," Council Member Brady, "Aye," Council Member Manzione, "Aye," Council Member McCall, "Aye." The motion passed.

17. Resolution 2023-84 A Resolution of the Tooele City Council Approving an End User License Agreement with Adlumin Inc. for Computer Network Security

Presented by Chris Nielson, Information Technology Director

Mr. Nielson presented an agreement with Adlumin Inc. for computer network security in the amount of \$53,000 with a one-year contract. If this program works out, staff will extend the contract into multiple years.

Council Member McCall motioned to approve Resolution 2023-84 A Resolution of the Tooele City Council Approving an End User License Agreement with Adlumin Inc. for

Computer Network Security. Council Member Manzione seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council Member Brady, “Aye,” Council Member Manzione, “Aye,” Council Member McCall, “Aye.” The motion passed.

18. Resolution 2023-85 A Resolution of the Tooele City Council Approving an Agreement with Nelson & Sons, Inc., for Well House Generator Concrete Pads and Associated Improvements and Conduits

Presented by Jamie Grandpre, Public Works Director

Mr. Grandpre presented an agreement with Nelson & Sons Inc. for nine well house generator concrete pads and associated improvement and conduits in the amount of \$182,521 with 5% contingency. This is the second step in getting the generators installed. The generator keeps the wells working if the power goes out.

Mayor Winn addressed the Council. Almost every well will have a generator now.

Council Member McCall motioned to approve Resolution 2023-85. Council Member Manzione seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council Member Brady, “Aye,” Council Member Manzione, “Aye,” Council Member McCall, “Aye.” The motion passed.

19. Invoices & Purchase Orders

Ms. Potter presented the following invoices and purchase orders:

Ken Garff Ford for 2024 Ford F-250F2B Parks maintenance vehicle in the amount of \$47,761.74.

Ken Garff Ford for 2023 Ford F-250 building maintenance vehicle in the amount of \$50,625.

Council Member Hansen motioned to approve the invoices and purchase order. Council Member McCall seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council Member Brady, “Aye,” Council Member Manzione, “Aye,” Council Member McCall, “Aye.” The motion passed.

20. Minutes

Council Member Manzione requested a verbiage change to the business meeting minutes on page 3 in regards to the tax; replacing the word ‘They’ for ‘Tooele City.’

Council Member Manzione motioned to approve Minutes with the changes listed. Council Member McCall seconded the motion. The vote was as follows: Council Member Hansen, “Aye,” Council Member Graf, “Aye,” Council Member Manzione, “Aye,” Council Member McCall, “Aye.” The motion passed.

21. Adjourn

Chairman Brady adjourned the meeting at 8:13pm.

The content of the minutes is not intended, nor are they submitted, as a verbatim transcription of the meeting. These minutes are a brief overview of what occurred at the meeting.

Approved this ____ day of October, 2023

Justin Brady, City Council Chair

DRAFT